

Framing notes

Roof and girder truss locations to be verified by truss manufacturer

Provide 5" cont. eavestrough to drain positively to down spouts. Locate as required to meet O.B.C. and municipal laws

All materials and construction to conform to O.B.C.

All ceiling or floor openings to have proper support.

All partitions to joists to have double joists beneath them.

Basement windows below grade to have window wells and proper exterior weeping tile.

All dimensions to be verified by owner/contractor prior and during construction.

All conventional framing to conform to Part 9 of O.B.C.

Refer to truss drawings for approved truss layout.

All drawings are to comply with O.B.C. w/ 2015 updates.

All contractors and or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of their respective work.

This drawing is not to be scaled. All drawings, prints and related documents are to be used for the purpose in which they are issued.

Mechanical and Electrical design by owners consultants.

All floor drains to be verified by owners consultants.

All B-vents to be verified by owners consultants.

All roof attic areas to have accesses.

All stairs to be approved prior to manufacturing.

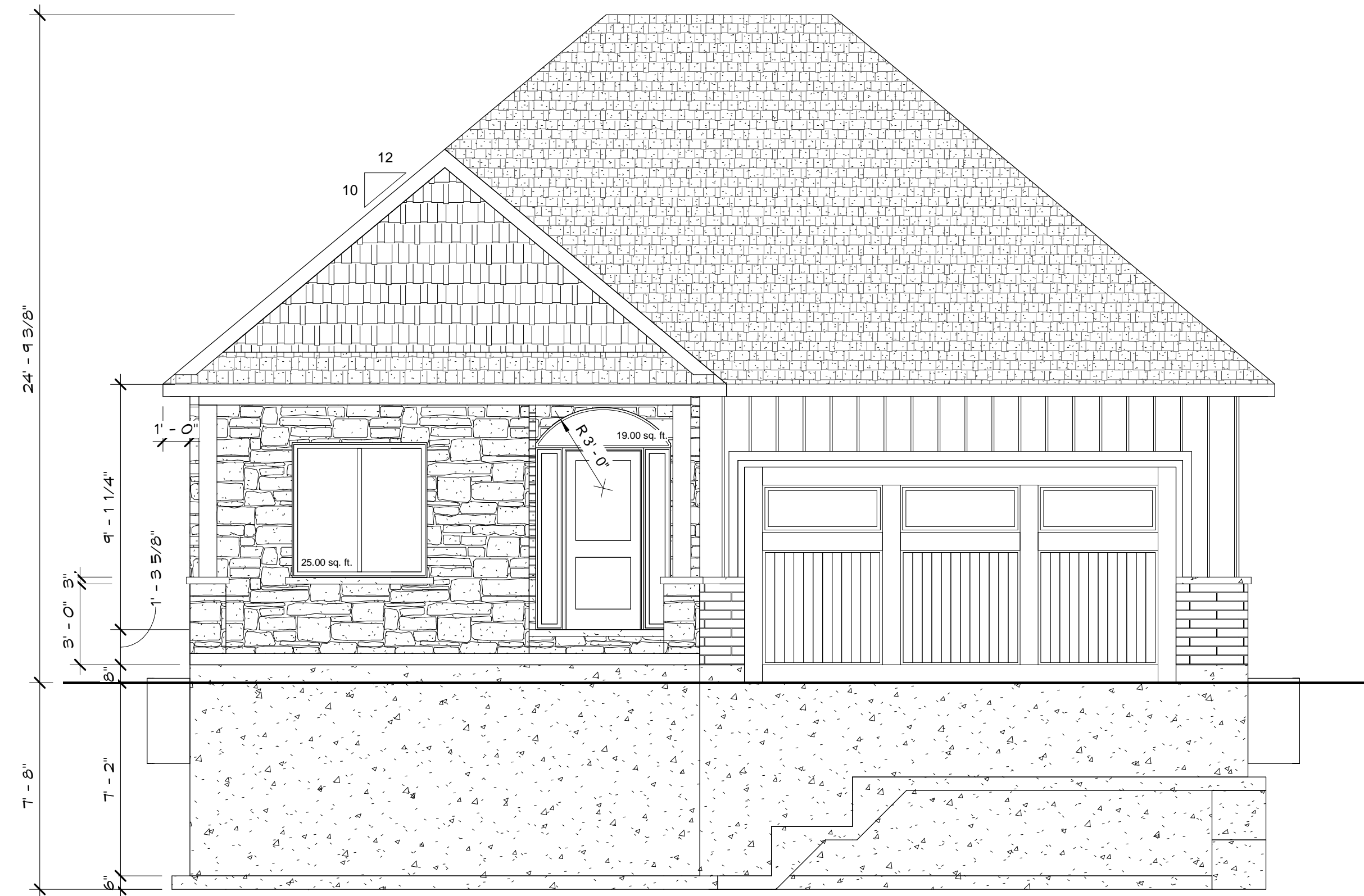
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

NAME	SIGNATURE	BCIN
TONY LaSELVA		104313

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code

FIRM NAME	BCIN
TLD HOME DESIGNS	116926



1 Front Elevation
1/4" = 1'-0"

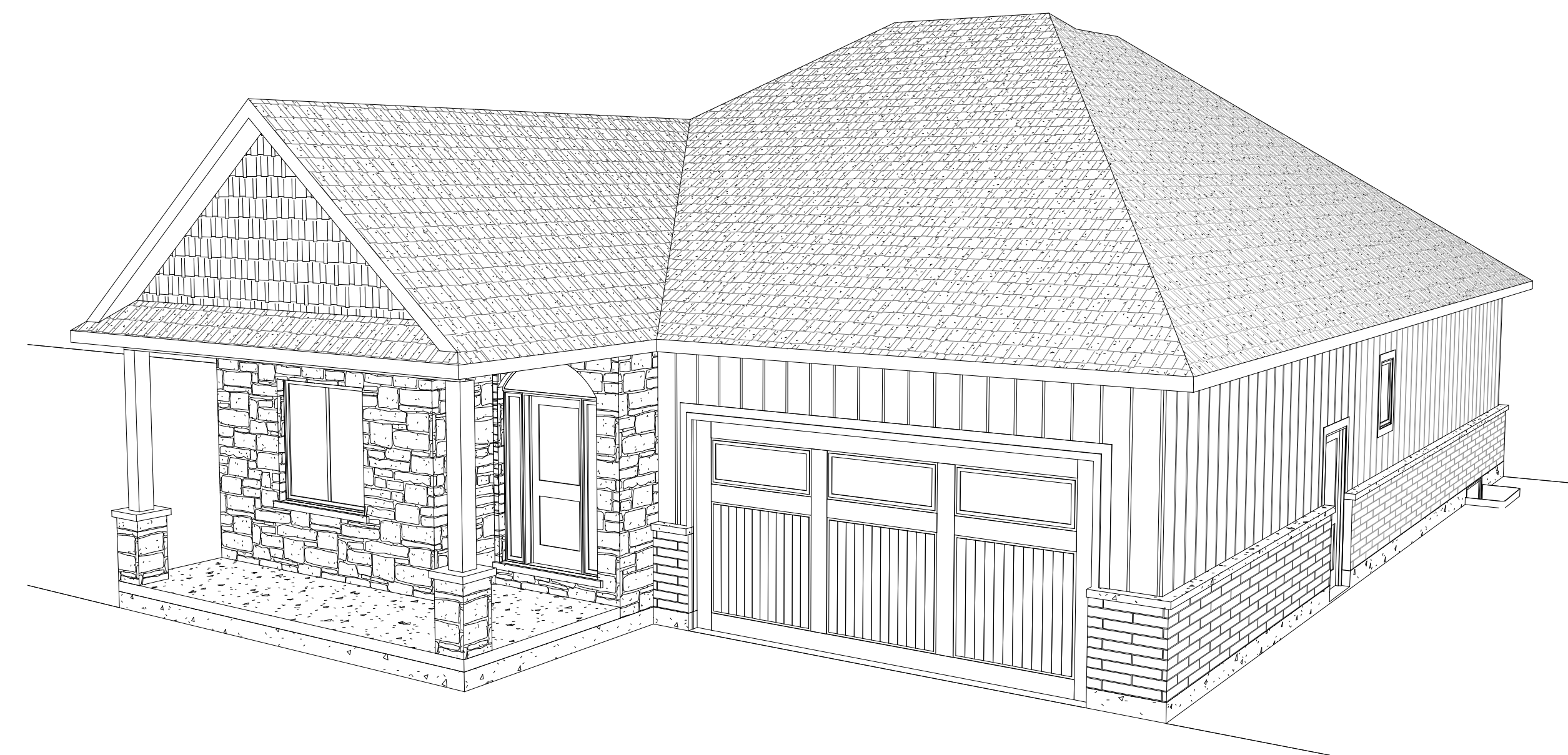
Front wall area 433.00 sq. ft.
Front window area 44.00 sq. ft.
10.16% coverage

Rear wall area 433.00 sq. ft.
Rear window area 98.00 sq. ft.
22.63% coverage

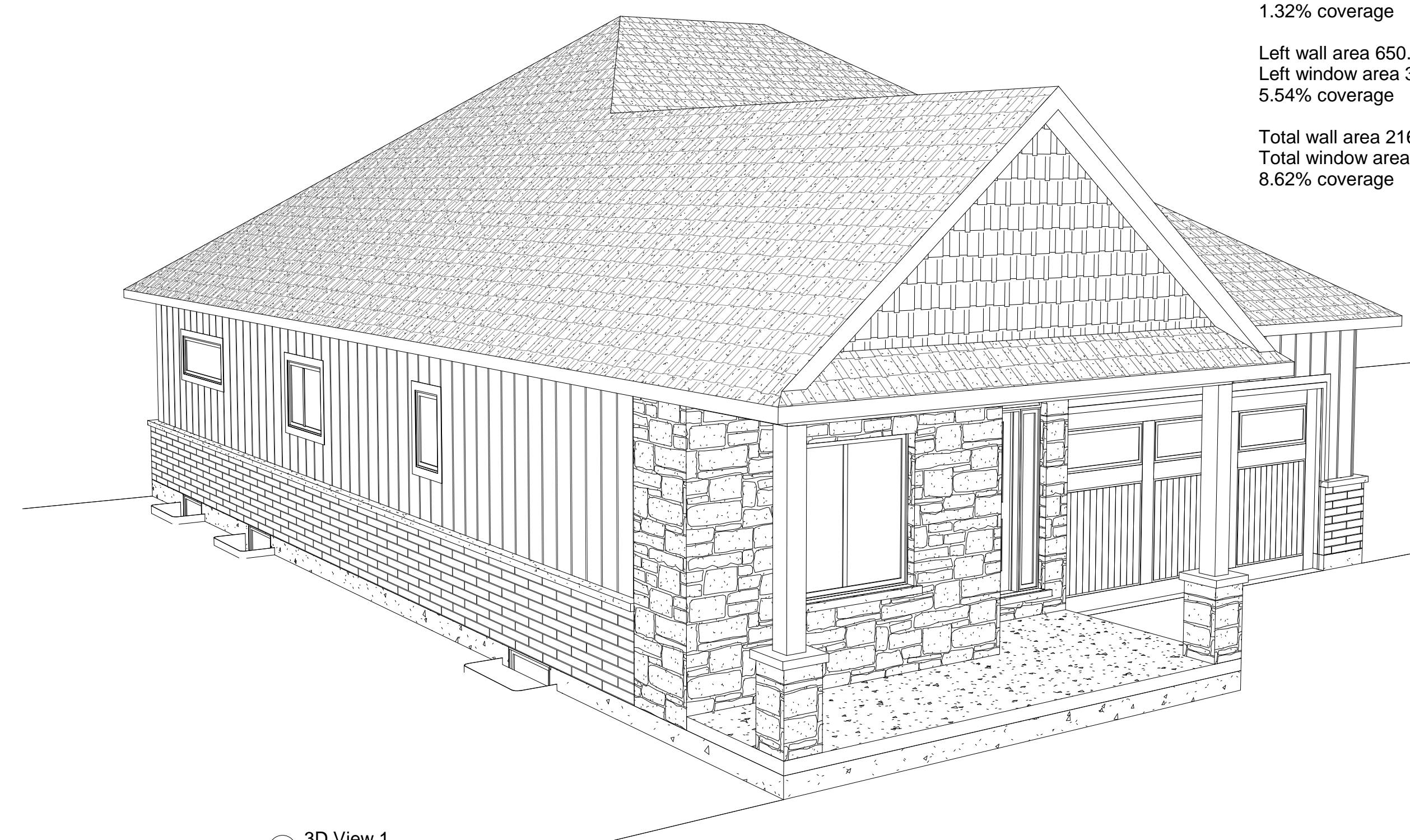
Right wall area 650.00 sq. ft.
Right window area 8.61 sq. ft.
1.32% coverage

Left wall area 650.00 sq. ft.
Left window area 36.00 sq. ft.
5.54% coverage

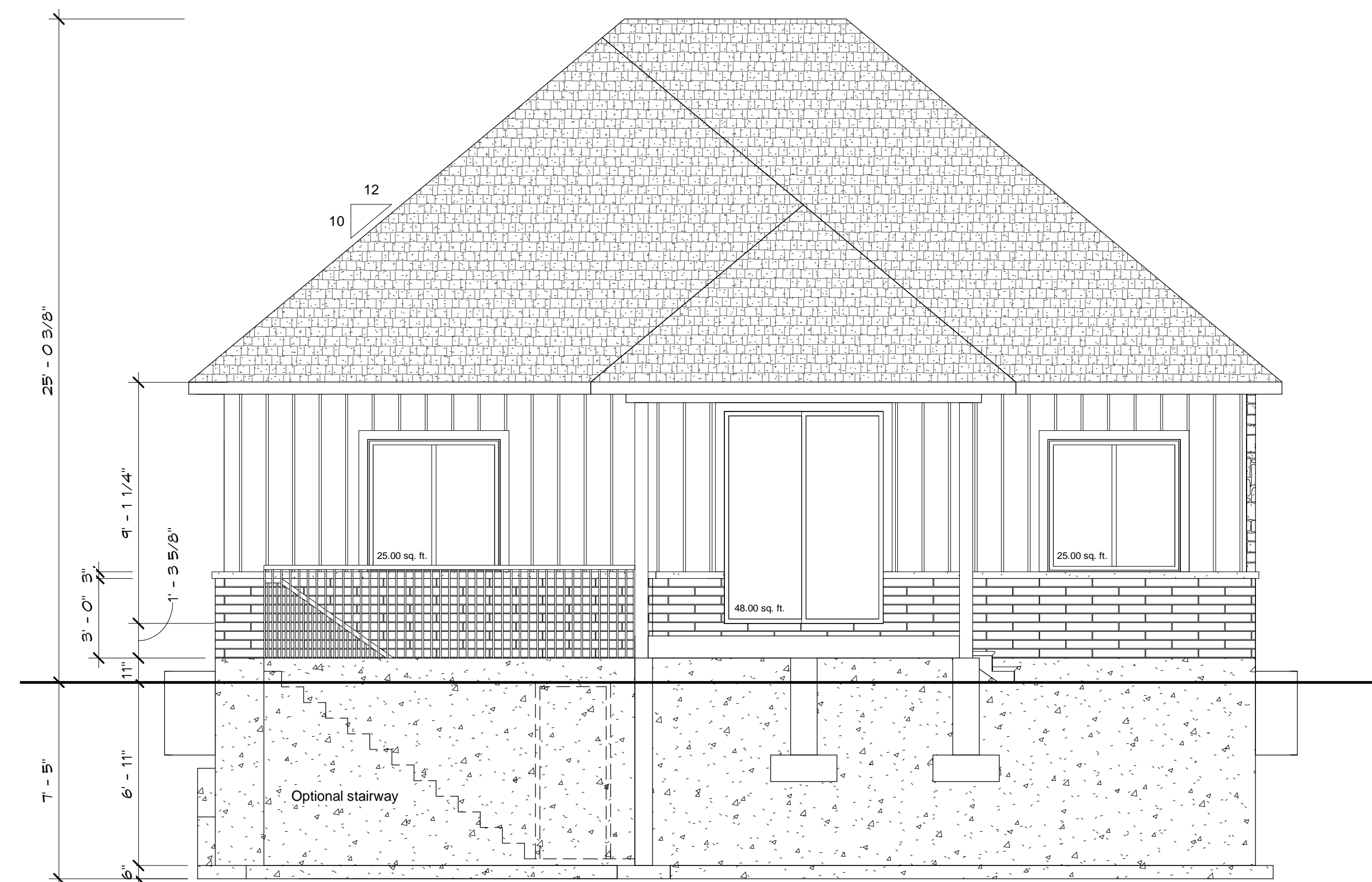
Total wall area 2166.00 sq. ft.
Total window area 186.61 sq. ft.
8.62% coverage



4 3D View 2



2 3D View 1



3 Rear Elevation
1/4" = 1'-0"

Parkside Homes
Lot 7 Oakley Drive
Virgil

Elevations

Date	Nov 1, 2023
Drawn by	TL
Page:	A1
Scale	1/4" = 1'-0"



Framing notes

Roof and girder truss locations to be verified by truss manufacturer

Provide 5" cont. eavestrough to drain positively to down spouts. Locate as required to meet O.B.C. and municipal laws

All materials and construction to conform to O.B.C.

All ceiling or floor openings to have proper support.

All partitions to joists to have double joists beneath them.

Basement windows below grade to have window wells and proper exterior weeping tile.

All dimensions to be verified by owner/contractor prior and during construction.

All conventional framing to conform to Part 9 of O.B.C.

Refer to truss drawings for approved truss layout.

All drawings are to comply with O.B.B. w/ 2015 updates.

All contractors and or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of their respective work.

This drawing is not to be scaled. All drawings, prints and related documents are to be used for the purpose in which they are issued.

Mechanical and Electrical design by owners consultants.

All floor drains to be verified by owners consultants.

All B-vents to be verified by owners consultants.

All roof attic areas to have accesses.

All stairs to be approved prior to manufacturing.

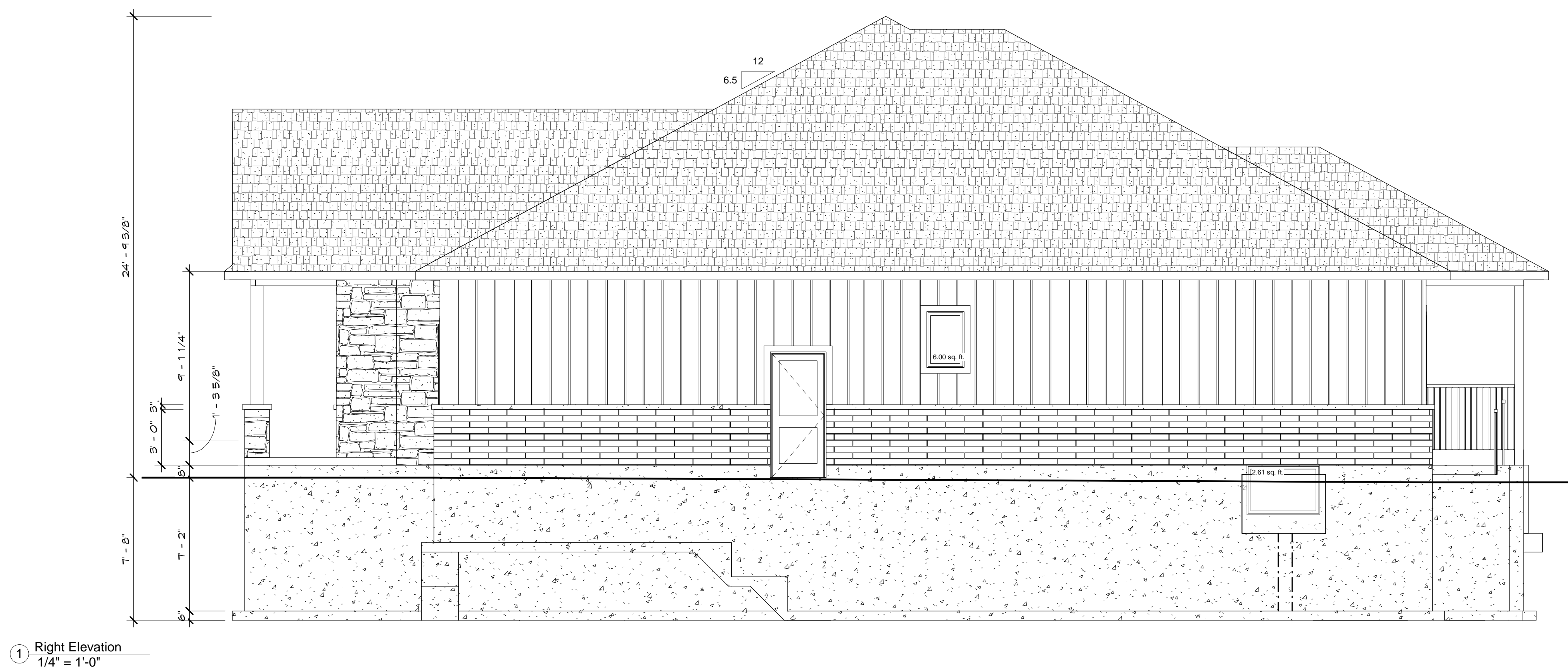
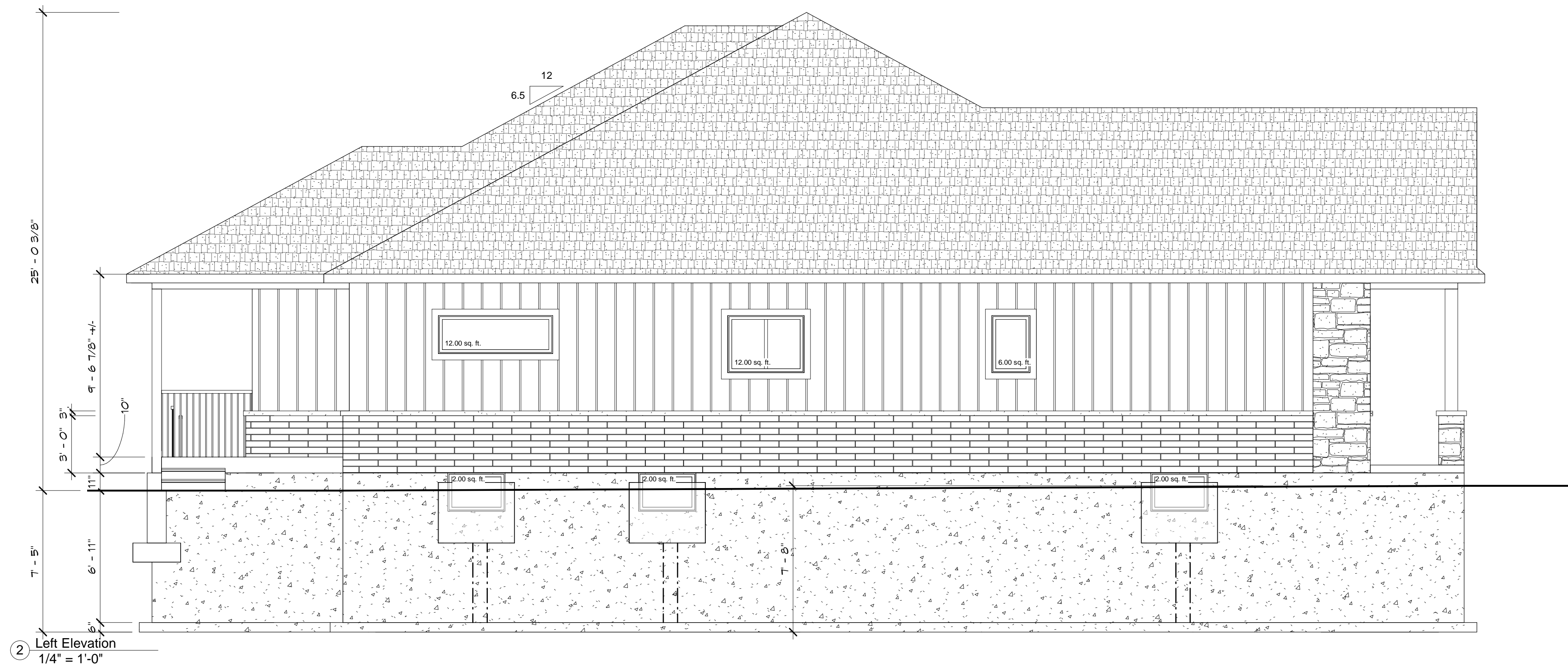
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

NAME	SIGNATURE	BCIN
TONY LaSELVA		104313

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code

TLDs HOME DESIGNS	116926
FIRM NAME	BCIN



Parkside Homes
 Lot 7 Oakley Drive
 Virgil

Elevations

Date	Nov 1, 2023
Drawn by	Author
Page:	A2
Scale	1/4" = 1'-0"

2023-11-01 9:11:59 PM



Framing notes

Roof and girder truss locations to be verified by truss manufacturer

Provide 5" cont. eavestrough to drain positively to down spouts. Locate as required to meet O.B.C. and municipal laws

All materials and construction to conform to O.B.C.

All ceiling or floor openings to have proper support.

All partitions to joists to have double joists beneath them.

Basement windows below grade to have window wells and proper exterior weeping tile.

All dimensions to be verified by owner/contractor prior and during construction.

All conventional framing to conform to Part 9 of O.B.C.

Refer to truss drawings for approved truss layout.

All drawings are to comply with O.B.B. w/ 2015 updates.

All contractors and or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of their respective work.

This drawing is not to be scaled. All drawings, prints and related documents are to be used for the purpose in which they are issued.

Mechanical and Electrical design by owners consultants.

All floor drains to be verified by owners consultants.

All B-vents to be verified by owners consultants.

All roof attic areas to have accesses.

All stairs to be approved prior to manufacturing.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

TONY LaSELVA 104313
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

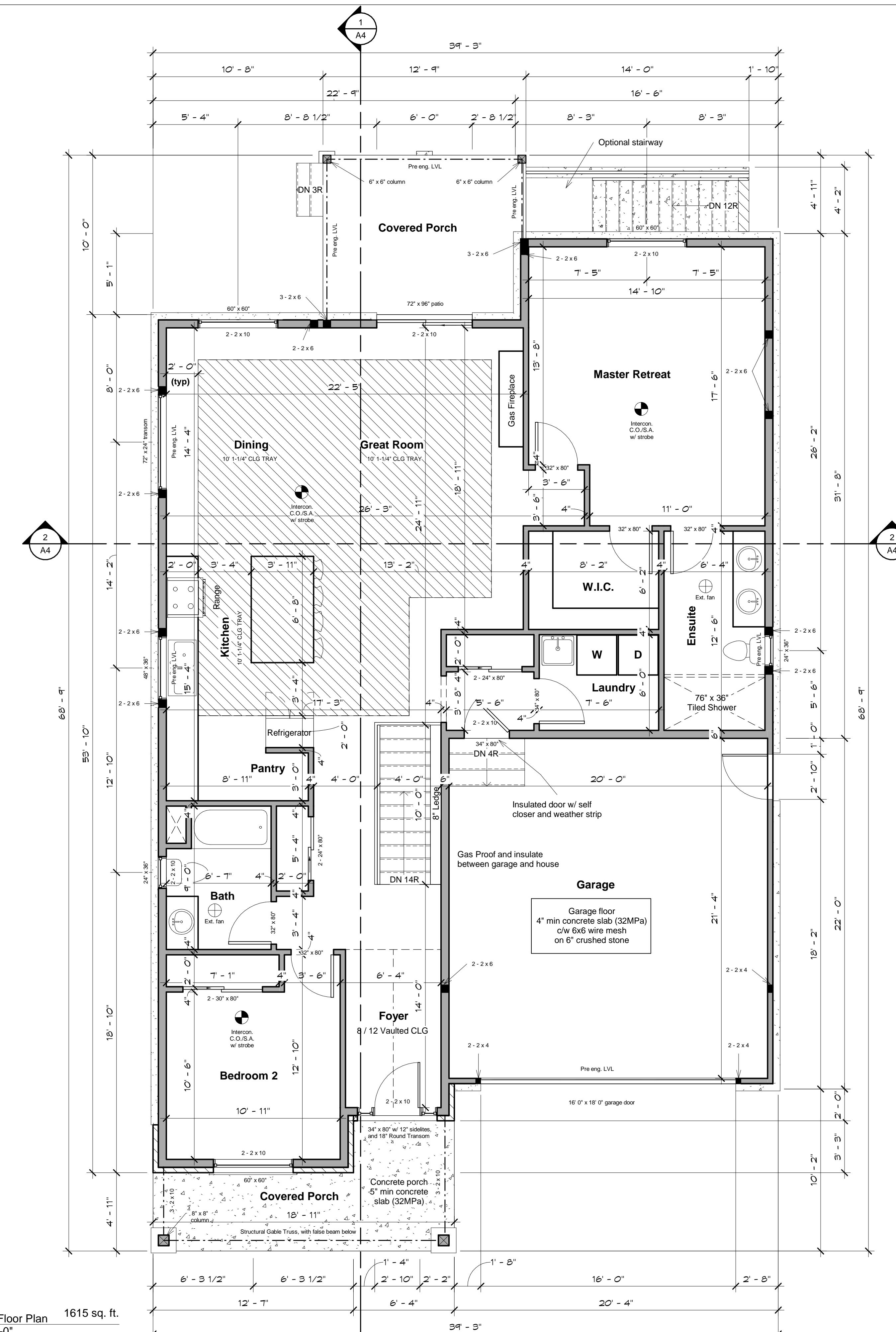
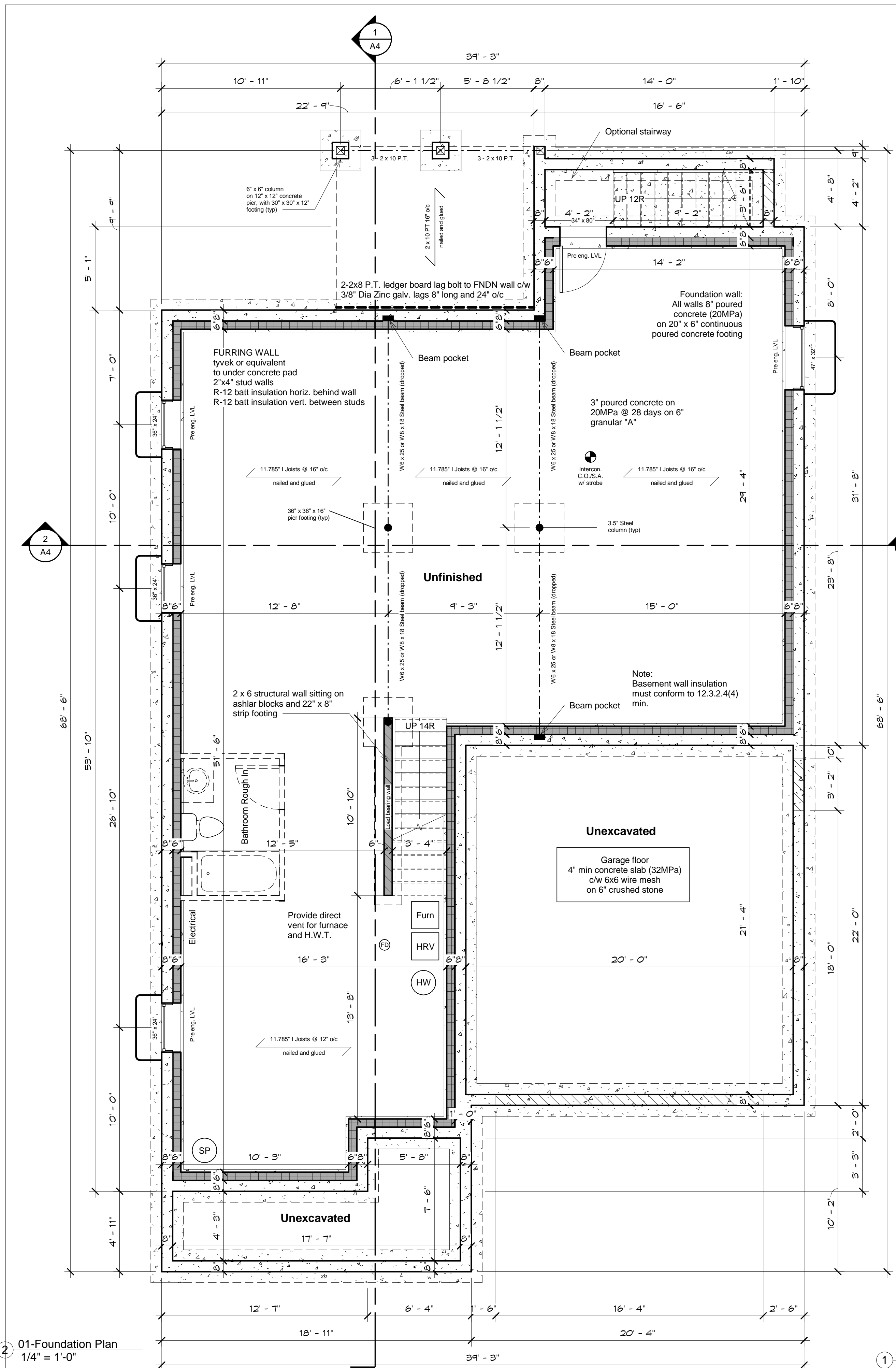
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

TLD HOME DESIGNS 116926
 FIRM NAME BCIN

Parkside Homes
 Lot 7 Oakley Drive
 Virgil

Floor Plans

Date	Nov 1, 2023
Drawn by	Author
Page:	A3
Scale	1/4" = 1'-0"



STEEL LINTEL SCHEDULE		
SIZE	SPAN	BEARING
3 1/2" x 3 1/2" x 1/4"	7'-9"	6" minimum
4" x 3 1/2" x 1/4"	8'-2"	6" minimum
4 7/8" x 3 1/2" x 5/16"	10'-1"	6" minimum
7 7/8" x 4" x 1/2"	14'-0"	6" minimum
W200 x 31	16'-9"	6" minimum

ALL STEEL TO BE PAINTED OR GALVANIZED



Framing notes

Roof and girder truss locations to be verified by truss manufacturer

Provide 5" cont. eavestrough to drain positively to down spouts. Locate as required to meet O.B.C. and municipal laws

All materials and construction to conform to O.B.C.

All ceiling or floor openings to have proper support.

All partitions to joists to have double joists beneath them.

Basement windows below grade to have window wells and proper exterior weeping tile.

All dimensions to be verified by owner/contractor prior and during construction.

All conventional framing to conform to Part 9 of O.B.C.

Refer to truss drawings for approved truss layout.

All drawings are to comply with O.B.C. w/ 2015 updates.

All contractors and or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of their respective work.

This drawing is not to be scaled. All drawings, prints and related documents are to be used for the purpose in which they are issued.

Mechanical and Electrical design by owners consultants.

All floor drains to be verified by owners consultants.

All B-vents to be verified by owners consultants.

All roof attic areas to have accesses.

All stairs to be approved prior to manufacturing.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

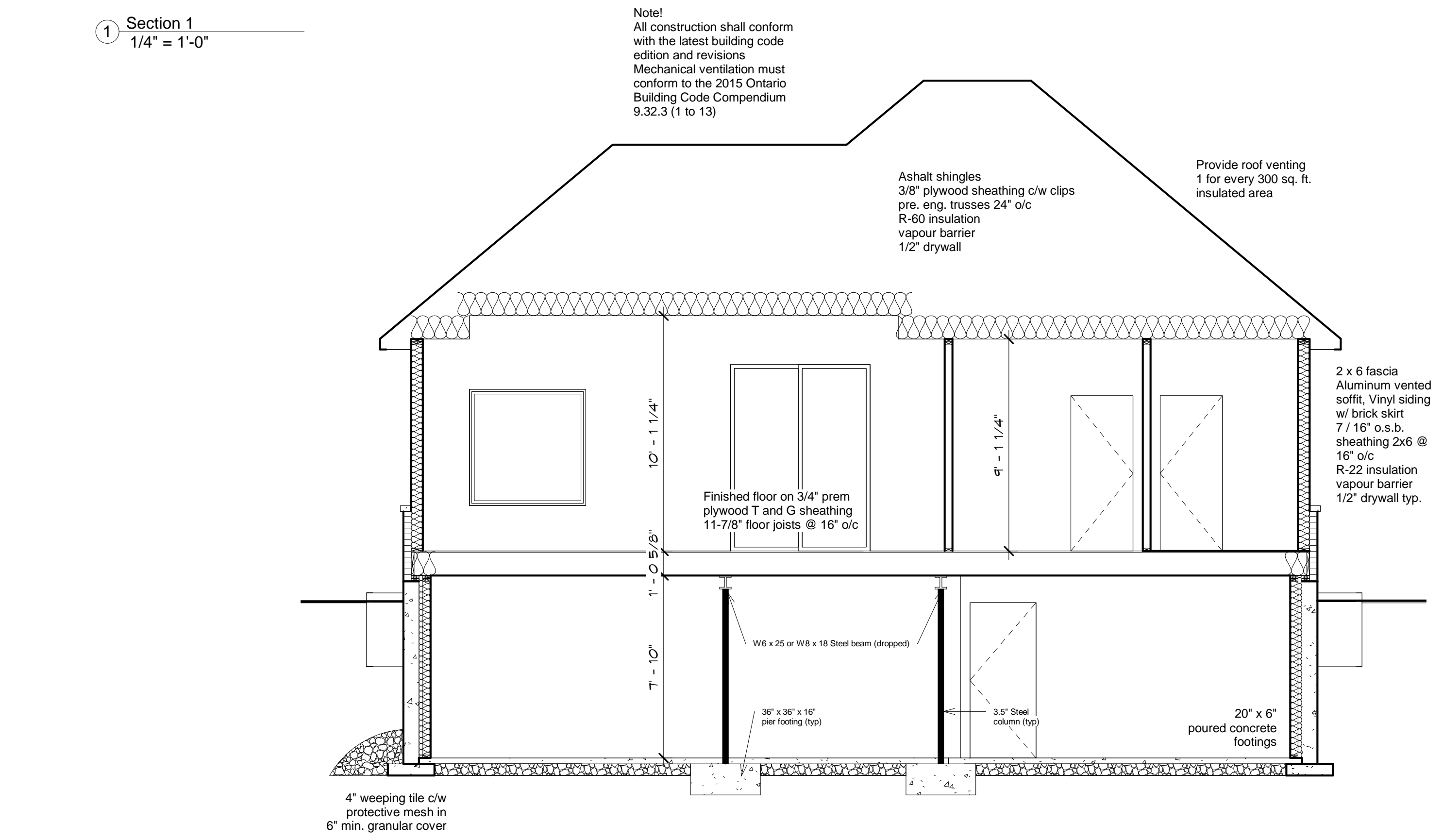
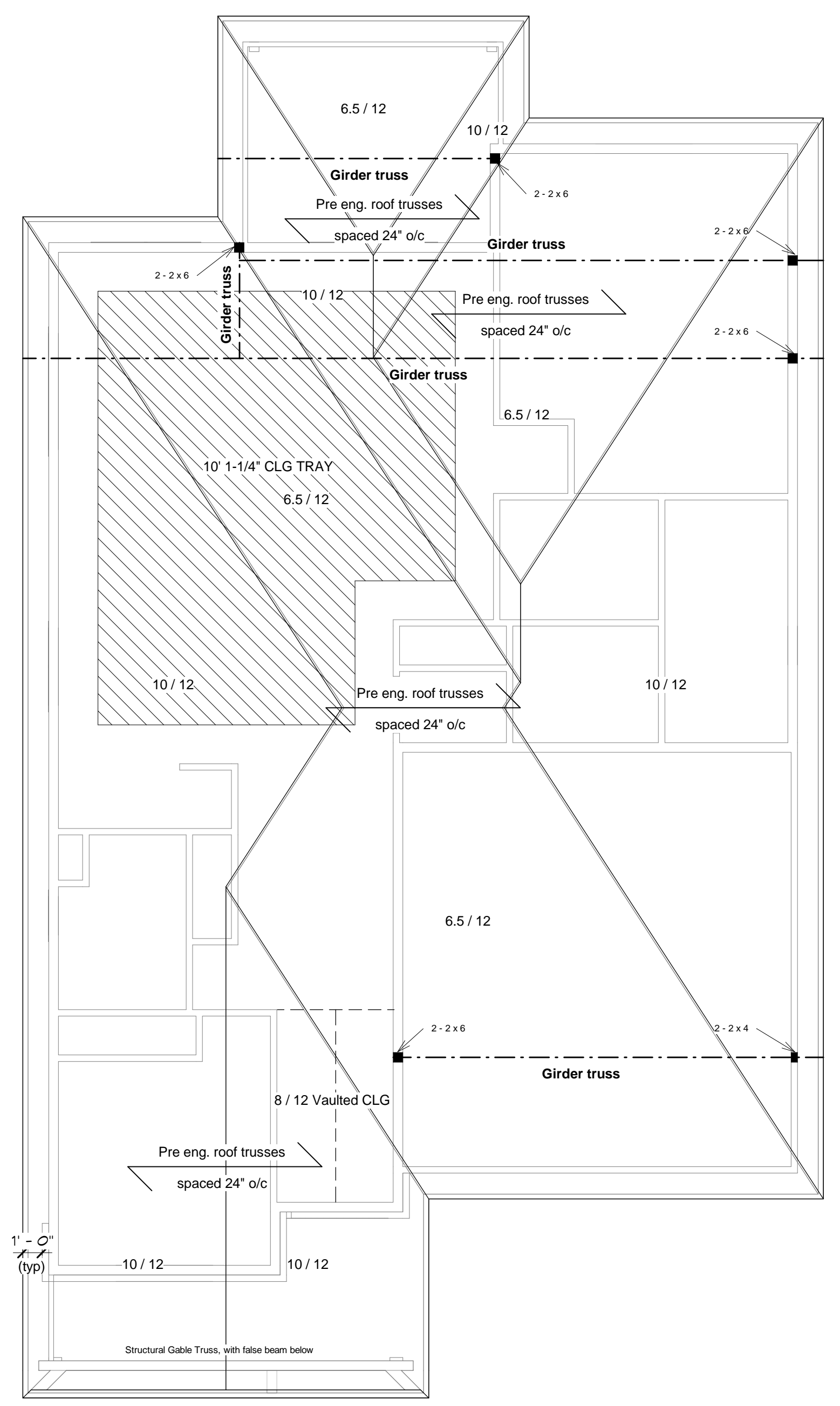
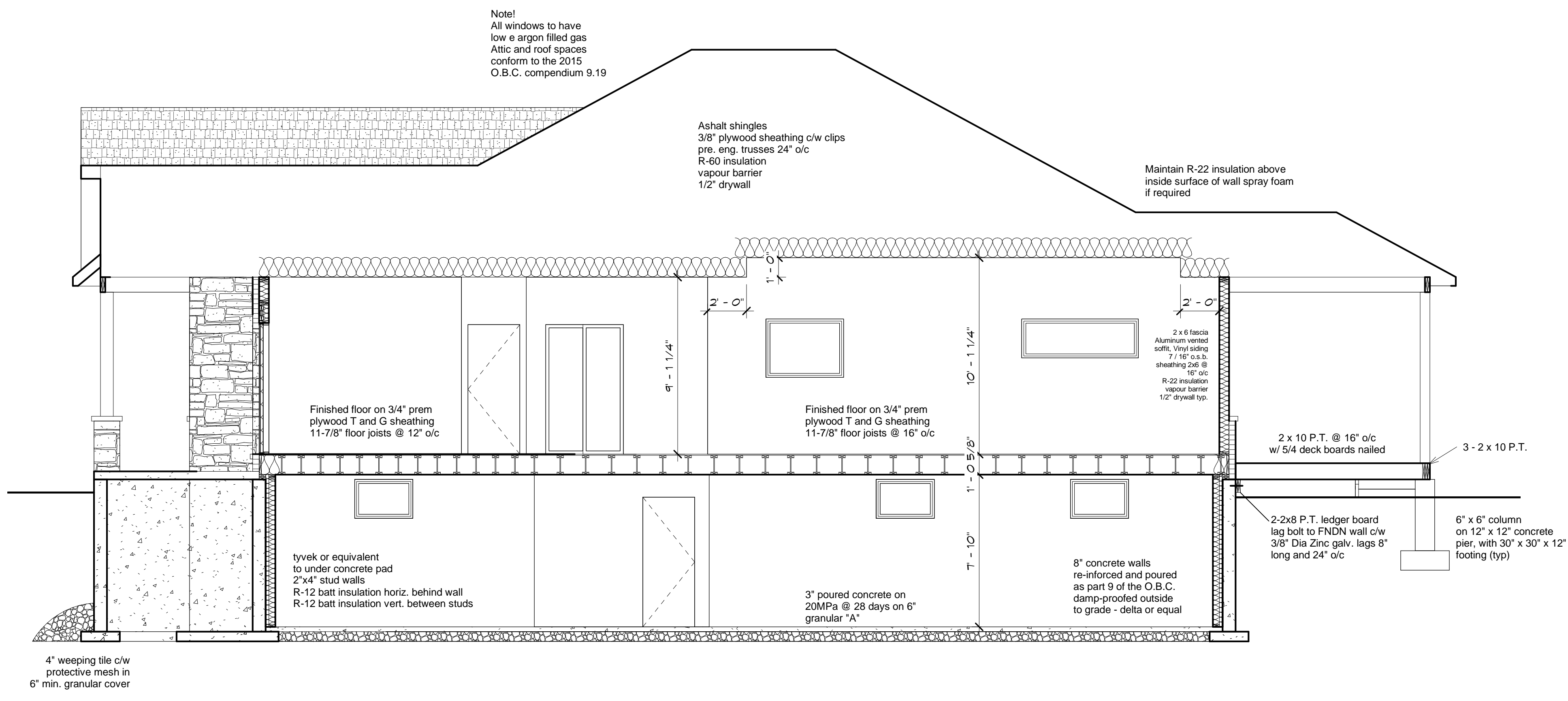
QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code
 TONY LaSELVA 104313
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code
 TILDE HOME DESIGNS 116926
 FIRM NAME BCIN

Parkside Homes
 Lot 7 Oakley Drive
 Virgil

Sections / Roof Plan

Date	Nov 1, 2023
Drawn by	Author
Page:	A4
Scale	As indicated



3 04-Roof Plan
 3/16" = 1'-0"

2 Section 2
 1/4" = 1'-0"

Framing notes

Roof and girder truss locations to be verified by truss manufacturer

Provide 5" cont. eavestrough to drain positively to down spouts. Locate as required to meet O.B.C. and municipal laws

All materials and construction to conform to O.B.C.

All ceiling or floor openings to have proper support.

All partitions to joists to have double joists beneath them.

Basement windows below grade to have window wells and proper exterior weeping tile.

All dimensions to be verified by owner/contractor prior and during construction.

All conventional framing to conform to Part 9 of O.B.C.

Refer to truss drawings for approved truss layout.

All drawings are to comply with O.B.B. w/ 2015 updates.

All contractors and or trades shall verify all dimensions, notes, site and report any discrepancies prior to commencement of their respective work.

This drawing is not to be scaled. All drawings, prints and related documents are to be used for the purpose in which they are issued.

Mechanical and Electrical design by owners consultants.

All floor drains to be verified by owners consultants.

All B-vents to be verified by owners consultants.

All roof attic areas to have accesses.

All stairs to be approved prior to manufacturing.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code

TONY LaSELVA SIGNATURE 104313 BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code

TILDE HOME DESIGNS 116926 BCIN

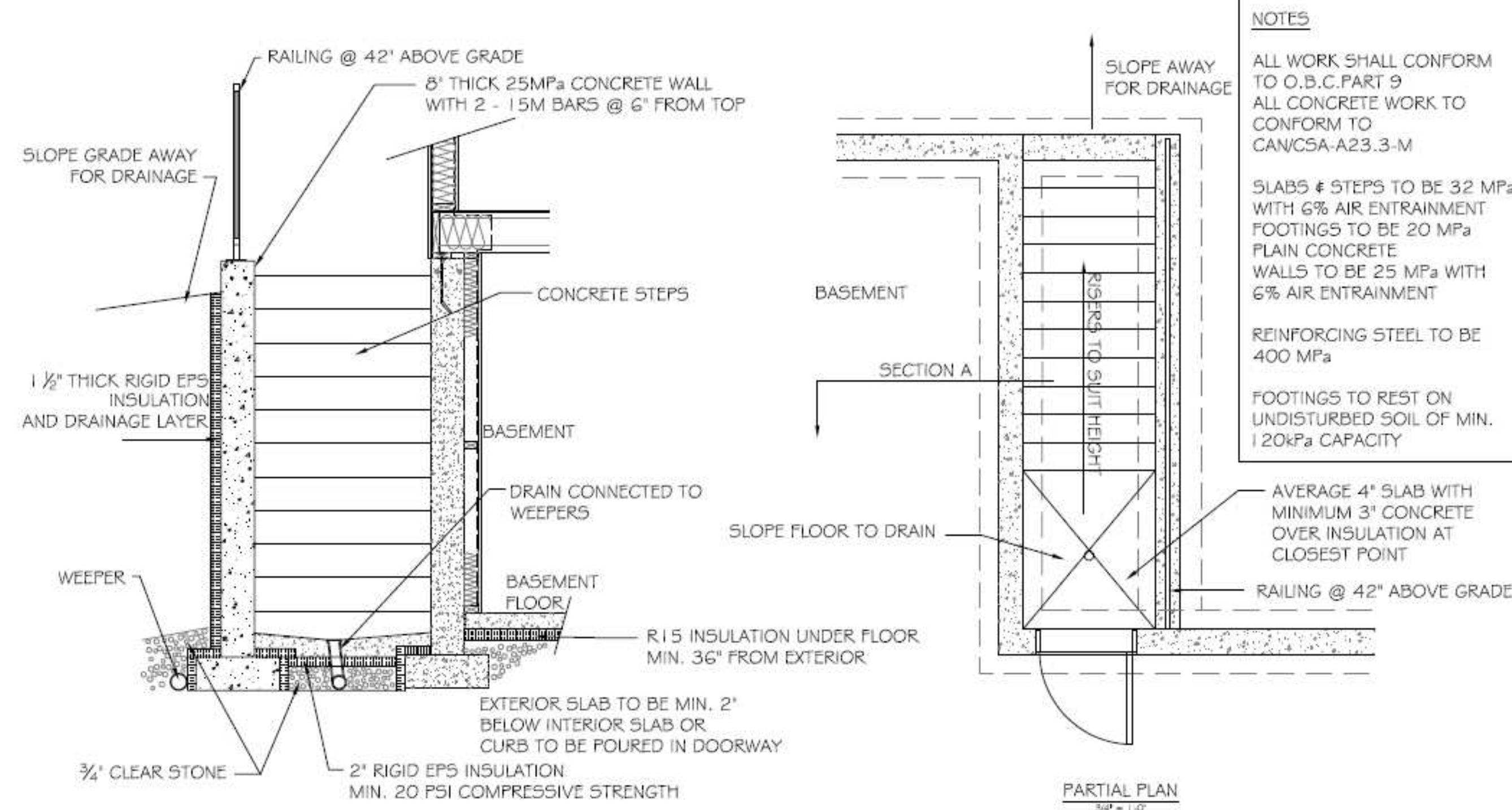
FIRM NAME BCIN

Parkside Homes
 Lot 7 Oakley Drive
 Virgil

Notes and Details

Date	Nov 1, 2023
Drawn by	Author
Page:	A5
Scale	

2023-11-01 9:15:13 PM



NOTES

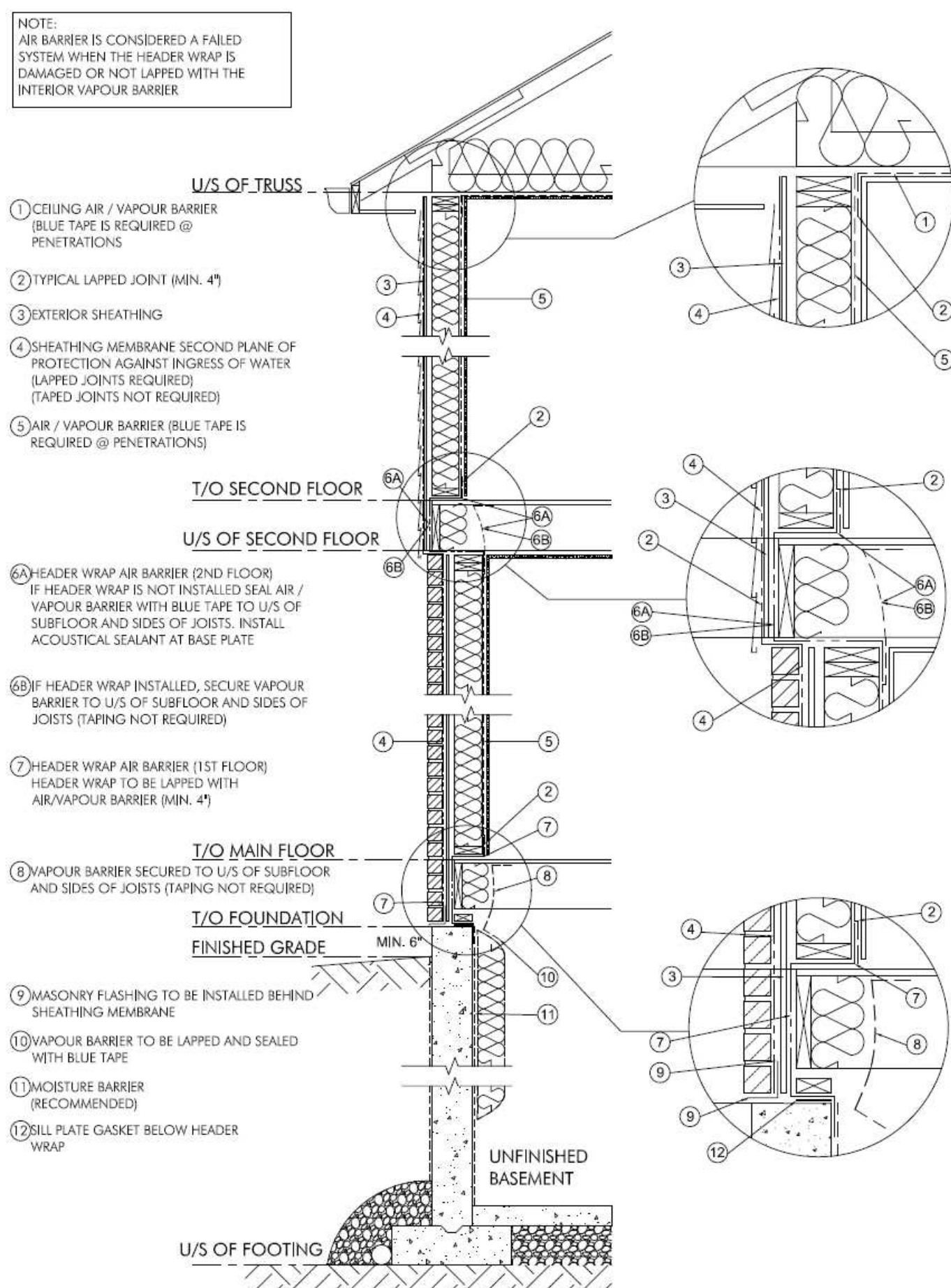
ALL WORK SHALL CONFORM TO O.B.C. PART 9
 ALL CONCRETE WORK TO CONFORM TO CAN/CSA-A23.3-M

SLABS & STEPS TO BE 32 MPa WITH 6% AIR ENTRAINMENT
 FOOTINGS TO BE 20 MPa FLAIN CONCRETE
 WALLS TO BE 25 MPa WITH 6% AIR ENTRAINMENT

REINFORCING STEEL TO BE 400 MPa

FOOTINGS TO REST ON UNDISTURBED SOIL OF MIN. 120kPa CAPACITY

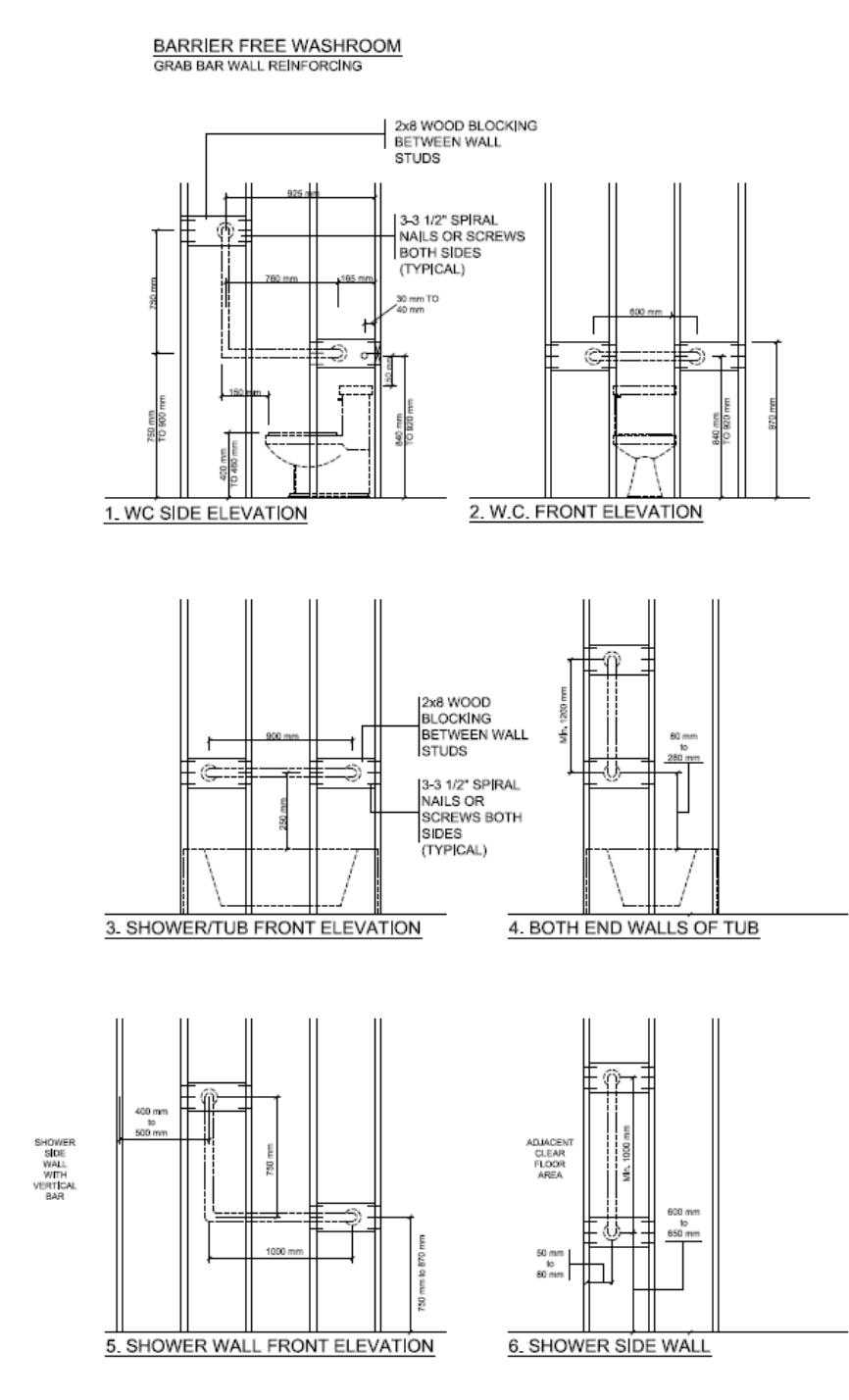
AVERAGE 4" SLAB WITH MINIMUM 3" CONCRETE OVER INSULATION AT CLOSEST POINT



NOTE:
 AIR BARRIER IS CONSIDERED A FAILED SYSTEM WHEN THE HEADER WRAP IS DAMAGED OR NOT LAPPED WITH THE INTERIOR VAPOUR BARRIER

- CEILING AIR / VAPOUR BARRIER (BLUE TAPE IS REQUIRED @ PENETRATIONS)
- TYPICAL LAPPED JOINT (MIN. 4")
- EXTERIOR SHEATHING
- SHEATHING MEMBRANE SECOND PLANE OF PROTECTION AGAINST INGRESS OF WATER (LAPPED JOINTS NOT REQUIRED) (TAPED JOINTS NOT REQUIRED)
- AIR / VAPOUR BARRIER (BLUE TAPE IS REQUIRED @ PENETRATIONS)
- HEADER WRAP AIR BARRIER (2ND FLOOR)
 IF HEADER WRAP IS NOT INSTALLED SEAL AIR / VAPOUR BARRIER WITH BLUE TAPE TO U/S OF SUBFLOOR AND SIDES OF JOISTS. INSTALL ACOUSTICAL SEALANT AT BASE PLATE
- IF HEADER WRAP INSTALLED, SECURE VAPOUR BARRIER TO U/S OF SUBFLOOR AND SIDES OF JOISTS (TAPING NOT REQUIRED)
- HEADER WRAP AIR BARRIER (1ST FLOOR)
 HEADER WRAP TO BE LAPPED WITH AIR/VAPOUR BARRIER (MIN. 4")
- VAPOUR BARRIER SECURED TO U/S OF SUBFLOOR AND SIDES OF JOISTS (TAPING NOT REQUIRED)
- MASONRY FLASHING TO BE INSTALLED BEHIND SHEATHING MEMBRANE
- VAPOUR BARRIER TO BE LAPPED AND SEALED WITH BLUE TAPE
- MOISTURE BARRIER (RECOMMENDED)
- SILL PLATE GASKET BELOW HEADER WRAP

Air Barrier Detail



ONTARIO BUILDING CODE REFERENCE - 9.5.2.3 STUD WALL REINFORCEMENT

(1) IF WOOD WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO MEET THE INSTALLATION OF GRAB BARS AS FOLLOWS:
 (A) FOR A WATER CLOSET AS DESCRIBED BY CLAUSE 9.5.2.3.1(1) AND 9.5.2.3.1(2);
 (B) FOR A SHOWER AS DESCRIBED BY CLAUSE 9.5.2.3.1(3); AND
 (C) FOR A BATH/TUB AS DESCRIBED BY CLAUSE 9.5.2.3.1(4).

GRAB BAR INSTALLATION SPECIFICATION

1. BESIDE WATER CLOSET
 AN L-SHAPED GRAB BAR WITH 750 mm LONG HORIZONTAL COMPONENT AND 750 mm LONG VERTICAL COMPONENT, MOUNTED 750 mm TO 875 mm ABOVE THE FINISHED FLOOR AND 80 mm FROM EDGE OF WALL ADJACENT TO CLEAR FLOOR AREA.

2. BEHIND WATER CLOSET
 A MIN. 600 mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL 80 mm TO 200 mm ABOVE THE FLOOR AND 150 mm ABOVE THE WATER TANK IF APPLICABLE.

3. BEHIND BATH/TUB
 THE FULL LENGTH OF THE TUB (MIN 1300 mm LONG) GRAB BAR MOUNTED HORIZONTALLY ON THE WALL, APPROXIMATELY 200 mm ABOVE THE TUB RIM.

4. BOTH END WALLS OF TUB
 A MIN. 1200 mm LONG GRAB BAR MOUNTED VERTICALLY ON WALL WITH BOTTOM 80 mm TO 200 mm ABOVE TUB RIM.

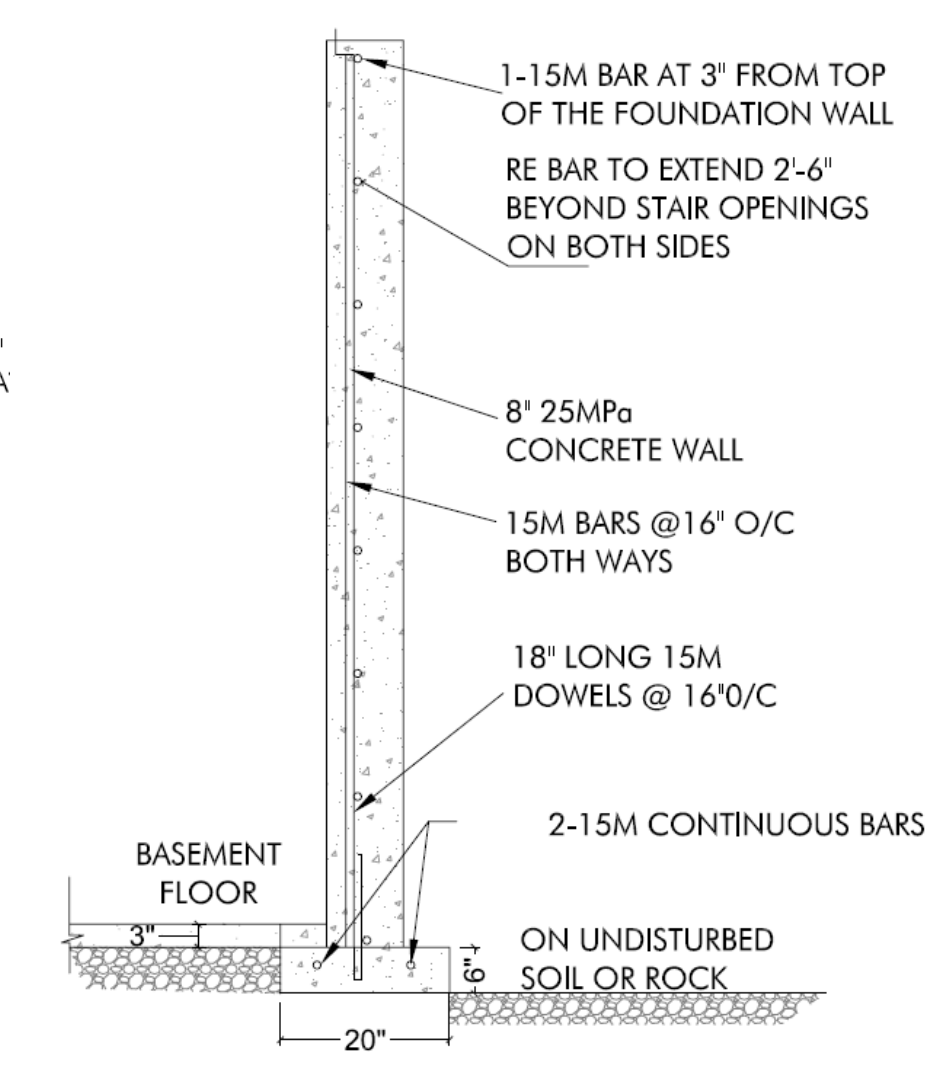
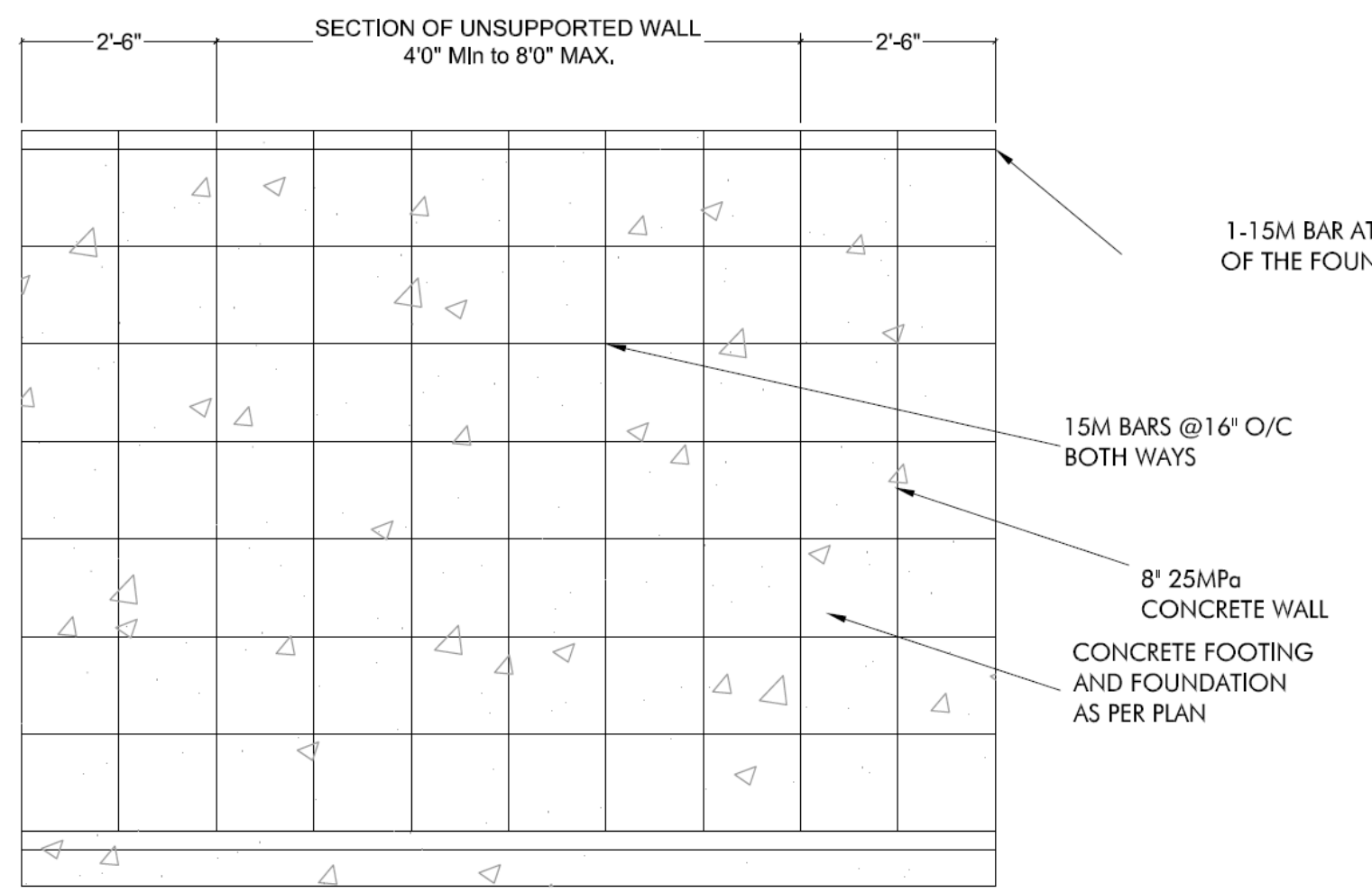
5. BEHIND SHOWER
 AN L-SHAPED GRAB BAR WITH 1000 mm LONG HORIZONTAL COMPONENT AND 750 mm LONG VERTICAL COMPONENT, MOUNTED 750 mm TO 875 mm ABOVE THE FINISHED FLOOR AND 80 mm TO 100 mm OFF OF WALL THAT SHOWER SIDE WALL GRAB BAR IS LOCATED.

6. SHOWER SIDE WALL
 A MIN 1000 mm LONG GRAB BAR MOUNTED VERTICALLY ON THE WALL, 800 mm TO 650 mm ABOVE THE FINISHED FLOOR AND 80 mm TO 80 mm FROM EDGE OF WALL ADJACENT TO CLEAR FLOOR AREA.

GRAB BAR ATTACHMENT NOTES:

2x4 WOOD BLOCCING BETWEEN WALL STUDS AND 3/8" SPIRAL NAILS OR SCREWS BOTH SIDES (TYPICAL)

GRAB BARS SHALL NOT OBSTRUCT THE USE OF SHOWER CONTROLS.



LATERALLY UNSUPPORTED FOUNDATION WALL DETAIL